

# Permit Application And Building Guide

Pottawattamie County  
Planning & Development Department  
Building & Safety Division

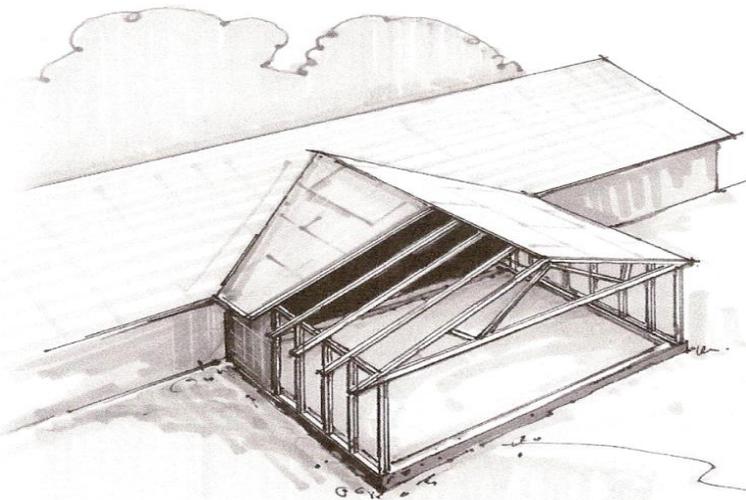
## Single Family Residential Addition

### How to Use this Guide

1. Review this Building Guide
2. Fill out the building guide and provide a floor plan; or provide two (2) sets of plans (minimum 11" x 17" paper size)
3. Provide two (2) copies of grading plan (minimum 11" x 17" paper size)
4. Provide a site plan
5. Fill out the enclosed permit application
6. Fill out a Permit Valuation Worksheet

The majority of permit applications are processed with little delay, within 7 – 10 working days. Detailed and complete submittal documents will help expedite the permit process and determine if the project is in compliance with building safety codes, zoning ordinances and other applicable laws.

### INCOMPLETE PLANS AND/OR APPLICATIONS WILL NOT BE ACCEPTED



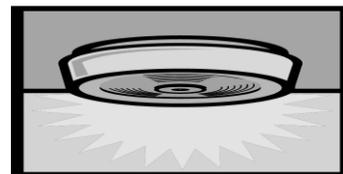
This handout was developed by the Pottawattamie County, Iowa, Building & Safety Division as a basic Plan Submittal under the 2009 IRC to help in questions that may arise in the application process. It is not intended to cover all circumstances or Code related issues as they pertain to individual projects.

#### **IMPORTANT CODE NOTE:**

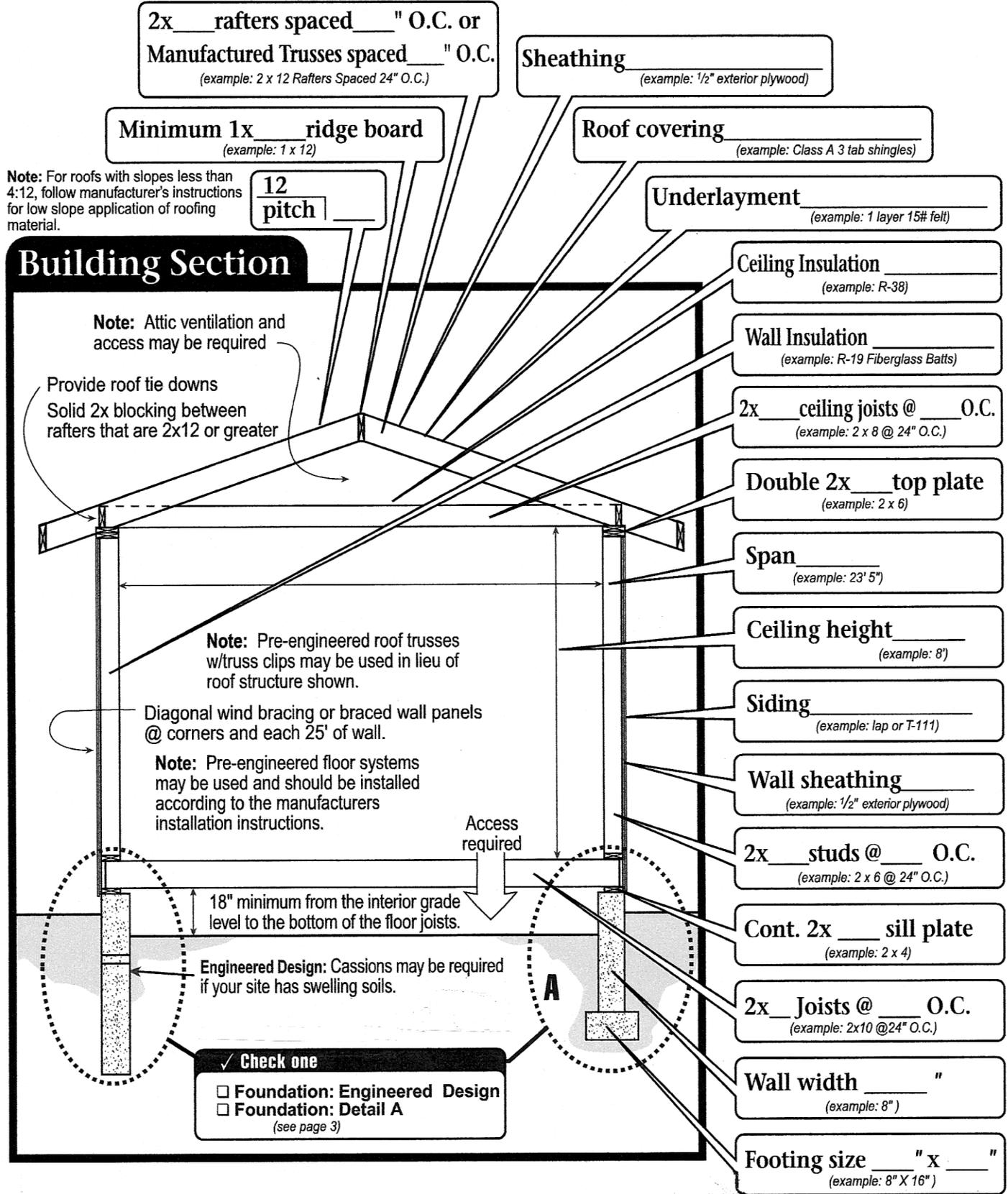
##### **Smoke Alarms and Carbon Monoxide Detectors:**

Smoke alarms are required in all basements. If the finished basement contains a sleeping room, a smoke alarm must be installed on the ceiling or wall in the sleeping room and in the hallway or area immediately outside of the sleeping room. Smoke alarms added to satisfy the above requirements must be hard wired with the battery backup, and interconnected with existing smoke alarms. Smoke alarms are required to be hardwired and interconnected in new and existing bedrooms, halls and on each level unless removal of interior wall or ceiling finished would be required. In this case, battery operated devices are acceptable.

Dual CO/smoke detectors are required if gas fired appliances and/or an attached garage is present.



# Single Family Residential Addition



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## NOTES

### FLOOR PLAN

- 1- Smoke Alarms. Smoke alarms are required to be hardwired and interconnected in new and existing construction bedrooms, halls and one on each level unless removal of interior walls or ceiling finishes would be required. In this case, battery operated devices are acceptable.
- 2- Additions not to enclose bedroom or basement egress windows.
- 3- Safety glass is required at specific locations. When you draw in the location of new windows on the floor plan, the plan reviewer can identify which ones require safety glass.
- 4- Heat is required in all habitable rooms. Show how the addition will be heated on the plan.

### ELECTRICAL CODE

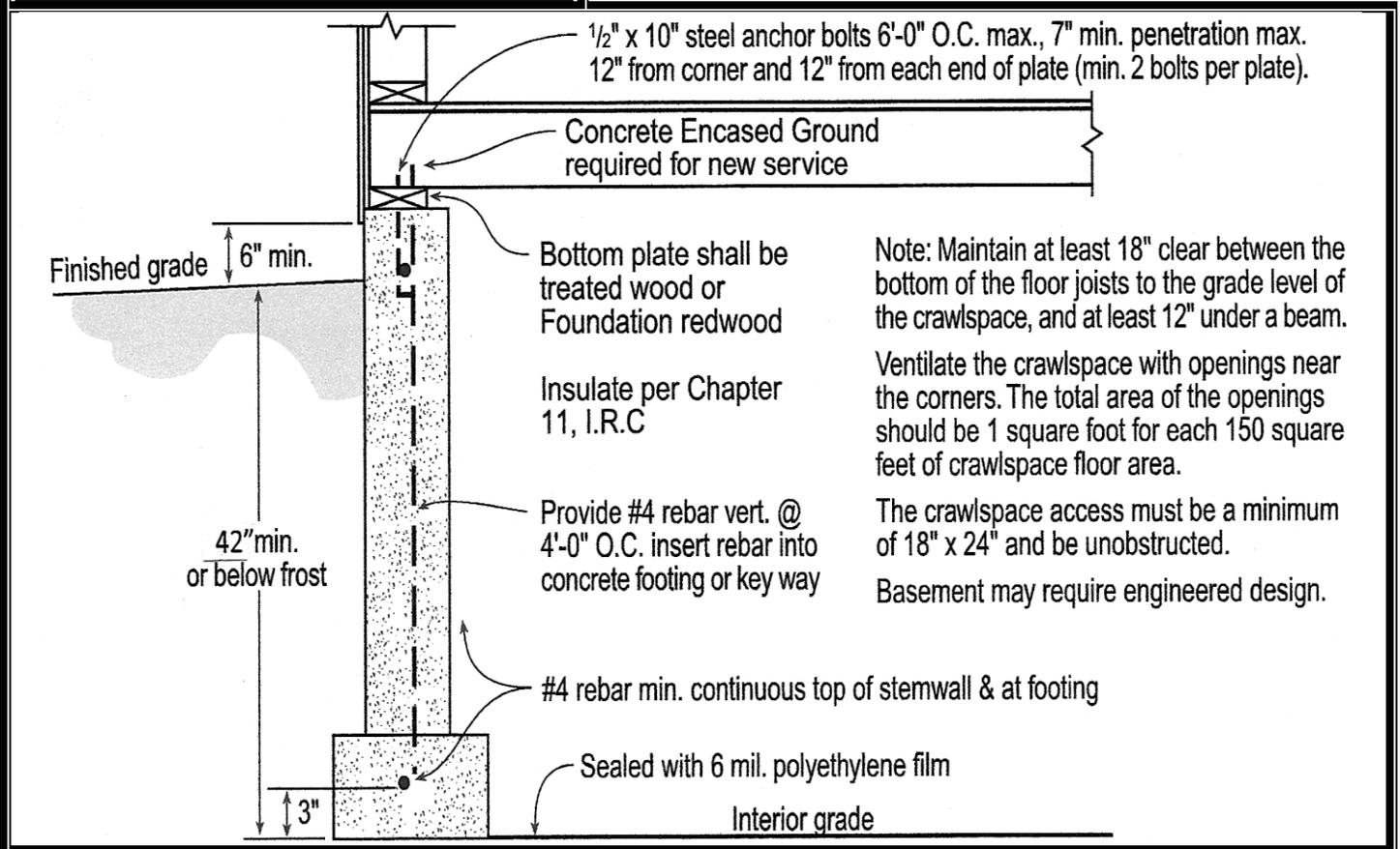
- 1- Existing electric service may require an upgrade or relocation. Indicate the side of your electric service (the number on the main breaker) on your plan. This can help the plan reviewer determine if an upgrade is needed before you start construction.

### ROOF OVERFRAME

- 1- When constructing a new valley, use a continuous board under the bottom cut of the new rafters to provide a solid nailing surface. The board should be at least 2" thick, nominal and should be at least as wide as the base of the new rafter.

Call IOWA ONE CALL at 811 for public/municipal utility locates.

### Crawlspace foundation Detail A



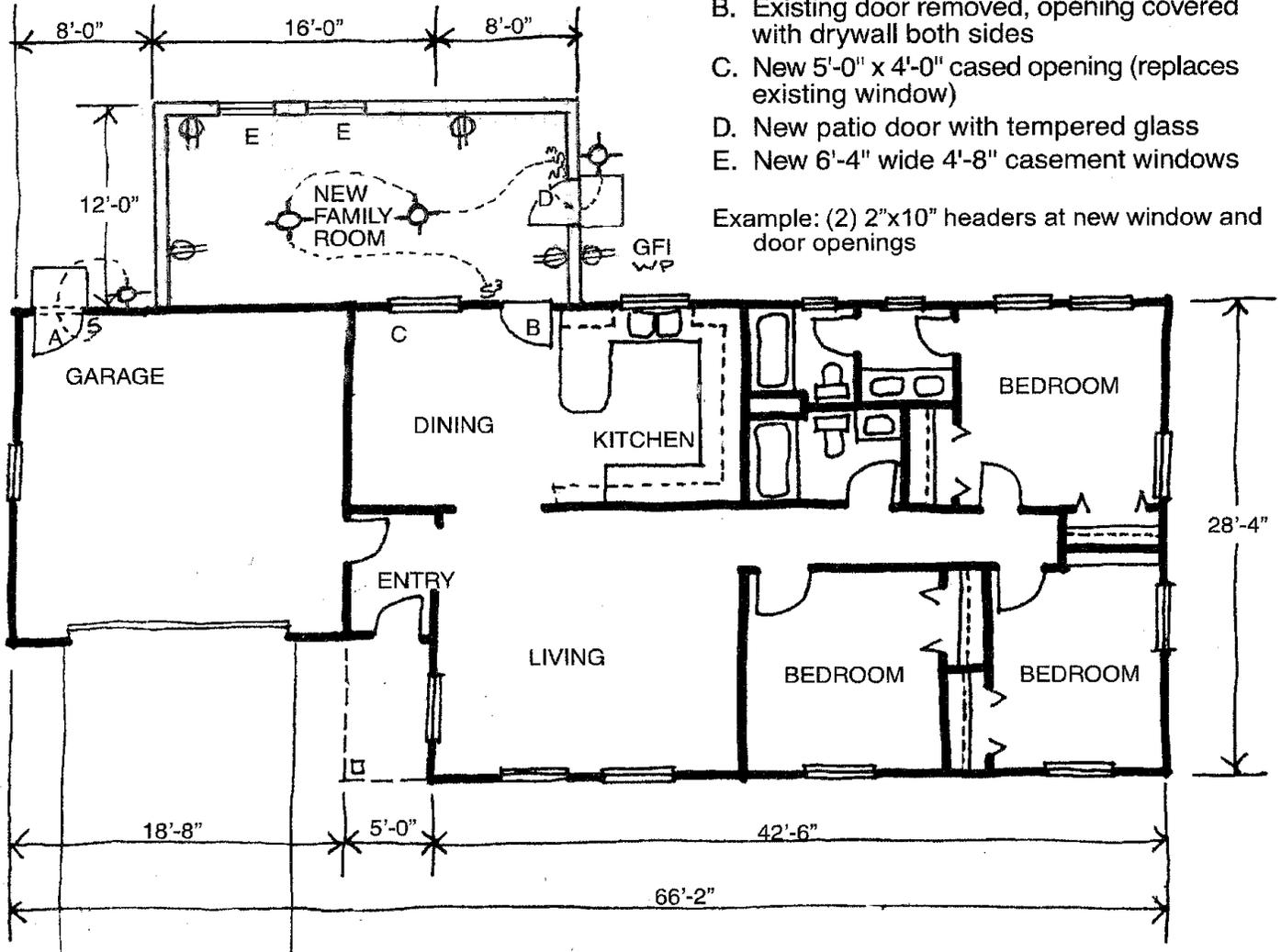
# Single Family Residential Addition

## EXAMPLE OF FLOOR PLAN

### NOTES:

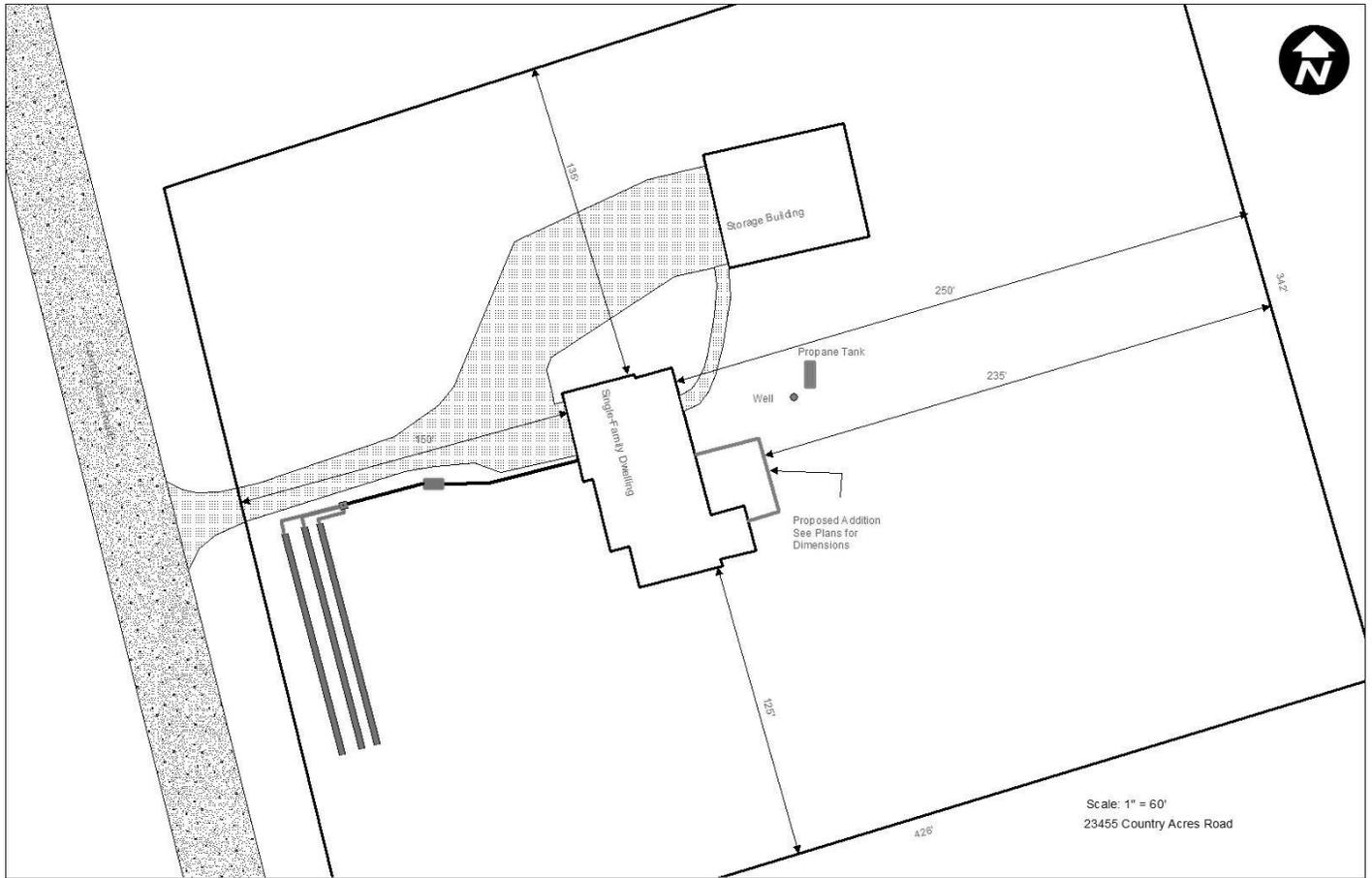
- A. New 3'-0" x 6'-8" door in existing wall
- B. Existing door removed, opening covered with drywall both sides
- C. New 5'-0" x 4'-0" cased opening (replaces existing window)
- D. New patio door with tempered glass
- E. New 6'-4" wide 4'-8" casement windows

Example: (2) 2"x10" headers at new window and door openings



# Single Family Residential Addition

## EXAMPLE OF SITE PLAN



## **Grading Plans-Regular**

- Provide Title Block on each sheet of plans: name, address, phone
  - Construction Plans must be drawn to scale and show contour lines intervals of 5' or less.
    - Provide locations and types and erosion and sedimentation control practices.
  - The plans should indicate the:
    - Square footage or cubic yards of the project
    - Project description, Project timeline, North Arrow, Legend and Scale
- \*\*\* See Example

## **Grading Plans-Engineered**

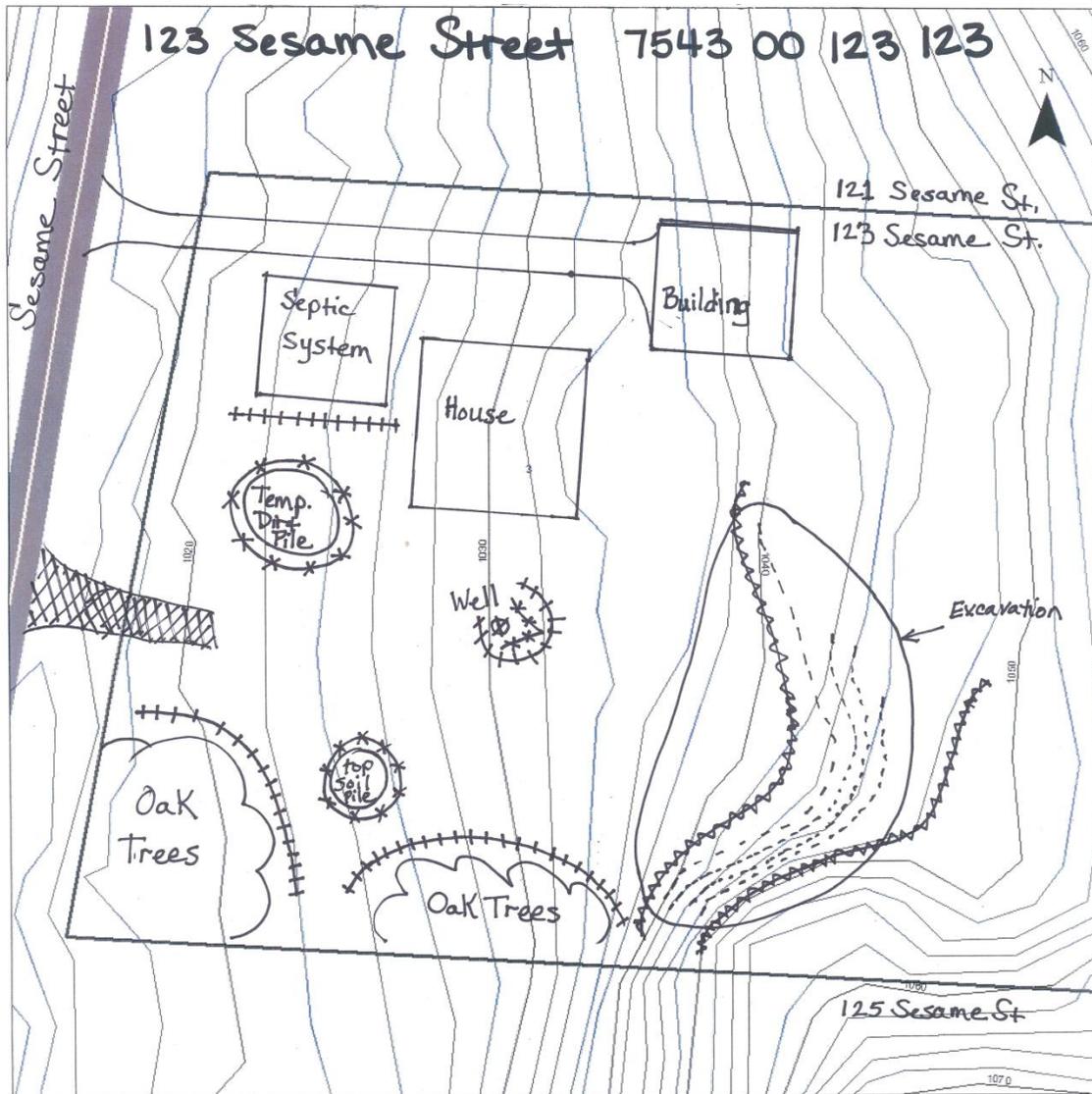
- Plans that are prepared by a civil engineer, a licensed landscape architect, or a licensed professional in erosion and sediment control, must be signed and dated on all sheets.
- Iowa Licensed Contractor/Project Inspector must have their name and phone number on all sheets
- The plans must indicate the:
  - Square footage or cubic yards of the project
  - Project description
  - Proposed project timeline: includes the start of land disturbing activities, when erosion and sedimentation control practices will be installed and maintained, timeline for phases of grading (if used), completion of land disturbing activities, final seeding dates, and project completion date (grass cover established).

**Plans and specifications must be of sufficient clarity to indicate the location, nature and extent of the work proposed and show in detail that it will conform to the provisions of the technical codes and all relevant laws, ordinances, rules and regulations. The following information must be incorporated on the plans as outlined below:**

- Provide North Arrow, Legend and Scale.
- Provide Parcel Number and/or address of proposed project.
- Show the section of the parcel that includes the land disturbing activities and adjacent property lines.
- Show contour lines at a contour interval of 5' or less for pre- and post-land disturbance activities.
- Show all structures within 50' of land disturbance activities.
- Show location and dimensions of all land disturbing activities; if completed in phases, show a complete plan map and a map for each phase.
- Location and dimensions of all temporary soil or dirt stockpiles.
- Provide locations and types and erosion and sedimentation control practices.
- Show location of protected areas, including wetlands, utilities, and woodland and tree protected measures.
- If available provide or note location of all utilities (water, sewer, septic system, septic corridor, well, well corridor).
- If proposed project is in a flood zone, if possible, provide flood zone boundary lines.

**INCOMPLETE PLANS WILL NOT BE ACCEPTED**

# GRADING PLAN



1 : 200      75 cu yards grading

-  Gravel Entrance
-  Silt Fence
-  Wattle/Filter Sock
-  Safety Fence

**Owner: Oscar Grouch (712)123-1230**

**Contractor/Inspector: Big Bird (402)123-0123**

**March 31<sup>st</sup>, prior to grading – install gravel Entrance, silt fence, diversion at well, safety fence at protected areas, wattle above excavated area.**

**April 1<sup>st</sup> – excavation starts.  
Install silt fence at temporary dirt piles.**

**April 22<sup>nd</sup> – excavation complete.  
Replace topsoil, seed excavated area, cover with blown straw & crimp in; install lower wattle.**

**April 29<sup>th</sup> – temporary dirt pile hauled away & bare soil seeded.**

**June 9<sup>th</sup> – expected grass establishment.**

**\*if disturbed areas & temporary dirt piles are not completed and will not have work performed on them for 21 days or more, they will be temporarily seeded.**

Minimum Site Plan Size Requirement is 11" x 17"; contour lines must be shown. Larger size drawings may be required in order to adequately show plan detail. This diagram is for illustration purposes only and is not to scale.

## POTTAWATTAMIE COUNTY, IOWA PERMIT APPLICATION SINGLE-FAMILY RESIDENTIAL ADDITION

<b>WHEN PERMITS ARE READY</b>		<input type="checkbox"/> Mail them <input type="checkbox"/> Call me <input type="checkbox"/> Call the builder <input type="checkbox"/> Email me <input type="checkbox"/> Email the builder			
<b>PROPERTY OWNER</b>	Name				
	Mailing Address	Street			City, State, Zip
	Contact Information	Email <input type="checkbox"/>			Home # <input type="checkbox"/> Work # <input type="checkbox"/> Cellular <input type="checkbox"/>
<input checked="" type="checkbox"/> Best Way to Contact					
<b>APPLICANT</b> <small>(if other than property owner)</small>	Name				
	Mailing Address	Street			City, St, Zip
	Contact Information	Email <input type="checkbox"/>			Home # <input type="checkbox"/> Work # <input type="checkbox"/> Cellular <input type="checkbox"/>
<input checked="" type="checkbox"/> Best Way to Contact					
<b>PROPERTY INFORMATION</b>	Job Site Address	<input type="checkbox"/> Same as above #1 <input type="checkbox"/> To be assigned by Planning Dept.			
	Civil Township				
	Legal Description	<input type="checkbox"/> Per Attachment			
	Parcel Number				
	Zoning District	<input type="checkbox"/> A-1 <input type="checkbox"/> A-2 <input type="checkbox"/> A-3 <input type="checkbox"/> A-4 <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-5			
<b>IMPROVEMENTS</b>	Proposed Construction Description	Example: Construction of a 15' x 25' family room and 12' x 12' bedroom addition to existing house			
	Estimated Construction Valuation from Construction Valuation Worksheet			Proposed Construction Area (Sq Ft)	
	Floodplain Development	<input type="checkbox"/> Yes <input type="checkbox"/> No		If YES, subject to provisions of the Floodplain Regulations. See separate Floodplain Development Permit Application.	
	Adding Bedrooms	<input type="checkbox"/> Yes <input type="checkbox"/> No		If YES, subject to provisions of the Septic Regulations. See separate Septic Permit Application.	
	Airport Hazard Zone	<input type="checkbox"/> Yes <input type="checkbox"/> No		If YES, subject to provisions of the Airport Hazard Zone Regulations.	
	Business Use	<input type="checkbox"/> Yes <input type="checkbox"/> No		If YES, consult with the Planning Director before continuing with this application.	
<b>BUILDER</b> <small>(if other than property owners)</small>	Name				State Registration#
	Mailing Address	Street			City, State, Zip
	Contact Information	Email <input type="checkbox"/>			Work # <input type="checkbox"/> Cellular <input type="checkbox"/>
<input checked="" type="checkbox"/> Best Way to Contact					
<b>LICENSED IOWA CONTRACTORS</b>	Electrical Contractor				State License#
	Plumbing Contractor				State License#
	Mechanical Contractor				State License#

BULK ZONING STANDARDS	STANDARDS	PRINCIPAL STRUCTURE			*The front yard and street side setback minimums are measured from the road right-of-way, not from the center of the road and not from the edge of the gravel or pavement.
		Minimum	Maximum	Proposed	
	Building Height				
	Number of Stories				
	Front Yard*				
	Street Side Yard*				
	Rear Yard				
	Interior Side Yard				
	Off-street Parking Spaces				
	Lot Coverage				

### ATTACHMENTS

**ATTACHED TO THIS APPLICATION IS THE FOLLOWING DOCUMENTATION AND/OR ATTACHMENTS:**

- |  | Attached                 | NA                       |
|--|--------------------------|--------------------------|
| A. Completed Building Guide and/or Plans   | <input type="checkbox"/> | <input type="checkbox"/> |
| B. Site Plan, Drawn to Scale   | <input type="checkbox"/> | <input type="checkbox"/> |
| C. Grading Plan, Drawn to Scale *with Contour Lines                              | <input type="checkbox"/> | <input type="checkbox"/> |
| D. Permit Valuation Worksheet  | <input type="checkbox"/> | <input type="checkbox"/> |
| E. Filing Fee-Checks are to be made payable to "Pottawattamie County Treasurer". | <input type="checkbox"/> | <input type="checkbox"/> |

**Please make be certain that you want to proceed with this project when you submit your application. The fees that you submit are not refundable once the application is submitted.**

### SIGNATURES

I certify that I have personally been to this property, reviewed the proposed development and acknowledge that the proposed construction of the BUILDING(S) will be able to be accomplished in accordance with the Building and Zoning Ordinance of Pottawattamie County, Iowa.		
Building Contractor	Signature	Date
	Type or Print Name	
I certify that I own this property and that the information contained in this application is true and correct to the best of my knowledge and that all work will be completed in accordance with the Pottawattamie County, Iowa, Code.		
Property Owner	Signature	Date
	Type or Print Name	

#### INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

**DO NOT START CONSTRUCTION UNTIL APPROVED PERMITS ARE RECEIVED IN THE MAIL OR YOU HAVE PICKED THEM UP AND PLACARDS ARE POSTED.** FAILURE TO WAIT FOR PERMITS AND POST PLACARDS WILL CAUSE YOU TO HAVE TO PAY AN INVESTIGATION FEE, WHICH IS DOUBLE THAT OF ANY PERMIT FEES YOU PAY. ADDITIONALLY, FAILURE TO OBTAIN PERMITS PRIOR TO STARTING CONSTRUCTION COULD RESULT IN THE ISSUANCE OF A CITATION OF COUNTY INFRACTION. OUR GOAL IS TO HAVE PERMITS OBTAINED PRIOR TO CONSTRUCTION STARTING. PLEASE HELP US ATTAIN THIS GOAL BY APPLYING FOR AND OBTAINING YOUR PERMITS BEFORE STARTING YOUR CONSTRUCTION.

#### RETURN COMPLETED FORM TO OBTAIN PERMIT PRIOR TO STARTING CONSTRUCTION:

POTTAWATTAMIE COUNTY  
PLANNING AND DEVELOPMENT  
223 SOUTH 6TH STREET  
COUNCIL BLUFFS, IA 51501-4245

IF YOU HAVE ANY QUESTIONS ON COMPLETING THIS FORM, PLEASE FEEL FREE TO CALL (712) 328-5792.  
YOU MAY BE DIRECTED TO THE BUILDING DIVISION IF YOU HAVE QUESTIONS RELATIVE TO THE BUILDING CODE RELATED ISSUES.



## Residential Addition Permit Valuation Worksheet

### Dwelling Building Valuation Schedule \* (Standard 1 & 2 Family Dwelling Construction Valuation Multipliers)

Building Valuation of	Per Square Foot Multiplier
Living/Habitable Dwelling Area (include all stories of levels)	\$ 71.50 per Sq. Ft.
Basement - Finished Living/Habitable Dwelling Area	\$ 36.50 per Sq. Ft.
Basement - Unfinished	\$ 18.25 per Sq. Ft.
Garage – Attached or Detached	\$ 28.00 per Sq. Ft.
Storage Shed/Building	\$ 28.00 per Sq. Ft.
Carport – Attached or Detached	\$ 12.50 per Sq. Ft.
Porch – Enclosed Living/Habitable Area	\$ 29.50 per Sq. Ft.
Porch – with Covered Roof	\$ 14.75 per Sq. Ft.
Deck – Elevated Wood Deck not covered	\$ 8.25 per Sq. Ft.

Type of Building	Square Footage	Per Square Foot Multiplier	Valuation
		x	
<b>Permit Valuation</b>			

PERMIT FEES			
		Applicant calculation	Staff Calculation
		AMOUNT	AMOUNT
After calculating the square footage with the valuation multiplier above and determining your total permitted valuation. Use the Building Permit Fee Schedule below and determine your Building Permit Fee. This permit fee will be verified during plan review and collected at the time of permit issuance.	Building Permit Fee		
Figuring the Plan Review at 25% of the calculated Building Permit cost. The Plan Review will be a required deposit at the time of your permit application submittal. <b>(Submittal Deposit)</b>	Plan Review Fee		
	<b>TOTAL AMOUNT</b>		

### BUILDING PERMIT FEE SCHEDULE \* (Title 1.50.105)

TOTAL VALUATION	FEE
\$1 to \$500	\$23.50
\$501 to \$2,000	\$23.50 for the first \$ 500.00 plus \$ 3.05 for each additional \$ 100.00, or fraction thereof, to and including \$ 2,000.00
\$2,001 to \$25,000	\$69.25 for the first \$ 2,000.00 plus \$ 14.00 for each additional \$ 1,000.00, or fraction thereof, to and including \$ 25,000.00
\$25,001 to \$50,000	\$391.75 for the first \$ 25,000.00 plus \$ 10.10 for each additional \$ 1,000.00, or fraction thereof, to and including \$50,000.00
\$50,001 to \$100,000	\$643.75 for the first \$ 50,000.00 plus \$ 7.00 for each additional \$ 1,000.00, or fraction thereof, to and including \$100,000.00
\$100,001 to \$500,000	\$993.75 for the first \$ 100,000.00 plus \$ 5.60 for each additional \$ 1,000.00, or fraction thereof, to and including \$500,000.00
\$500,001 to \$1,000,000	\$3,233.75 for the first \$ 500,000.00 plus \$ 4.75 for each additional \$ 1,000.00, or fraction thereof, to and including \$1,000,000.00
\$1,000,001 and up	\$5,608.75 for the first \$ 1,000,000.00 plus \$ 3.15 for each additional \$ 1,000.00, or fraction thereof...

#### Example

Type of Building Area	Square Footage	Multiplier	Valuation
Habitable Addition	1,000	X \$ 71.50	\$ 71,500.00
Un-finished Basement	1,000	X \$ 18.25	\$ 18,250.00
1 Car Garage	175	X \$ 28.00	\$ 4,900.00
Covered Patio & Desk (10' X 10')	100	X \$ 8.25	\$ 825.00
<b>Total Square Footage</b>	<b>2,275</b>		<b>Permit Valuation \$ 95,475.00</b>

Proposed Total Valuation of \$ 95,475.00

For the first \$ 50,000 = \$643.75, plus \$ 7.00 for each additional 1,000 of fraction thereof...

[( \$ 95,475 - \$50,000 = \$ 45,475 X\$7.00) = \$318.25 + \$643.75 = \$ 962.00]

1,000

<b>Building Permit Fee</b>	<b>\$ 962.00</b>
<b>Plan Review Fee</b>	<b>\$ 240.50</b> [25% (\$962.00X.25)]
<b>TOTAL PERMIT FEE</b>	<b>\$ 1,202.50</b>