



Permit Application And Building Guide

Pottawattamie County
Planning & Development Department
Building & Safety Division

Retaining Walls

How to Use This Guide

1. Review this Building Guide
2. Provide two (2) sets of plans (minimum 11" x 17" paper size)
3. Provide a site plan/grading plan
4. Fill out the enclosed permit application
5. Fill out a Permit Valuation Worksheet

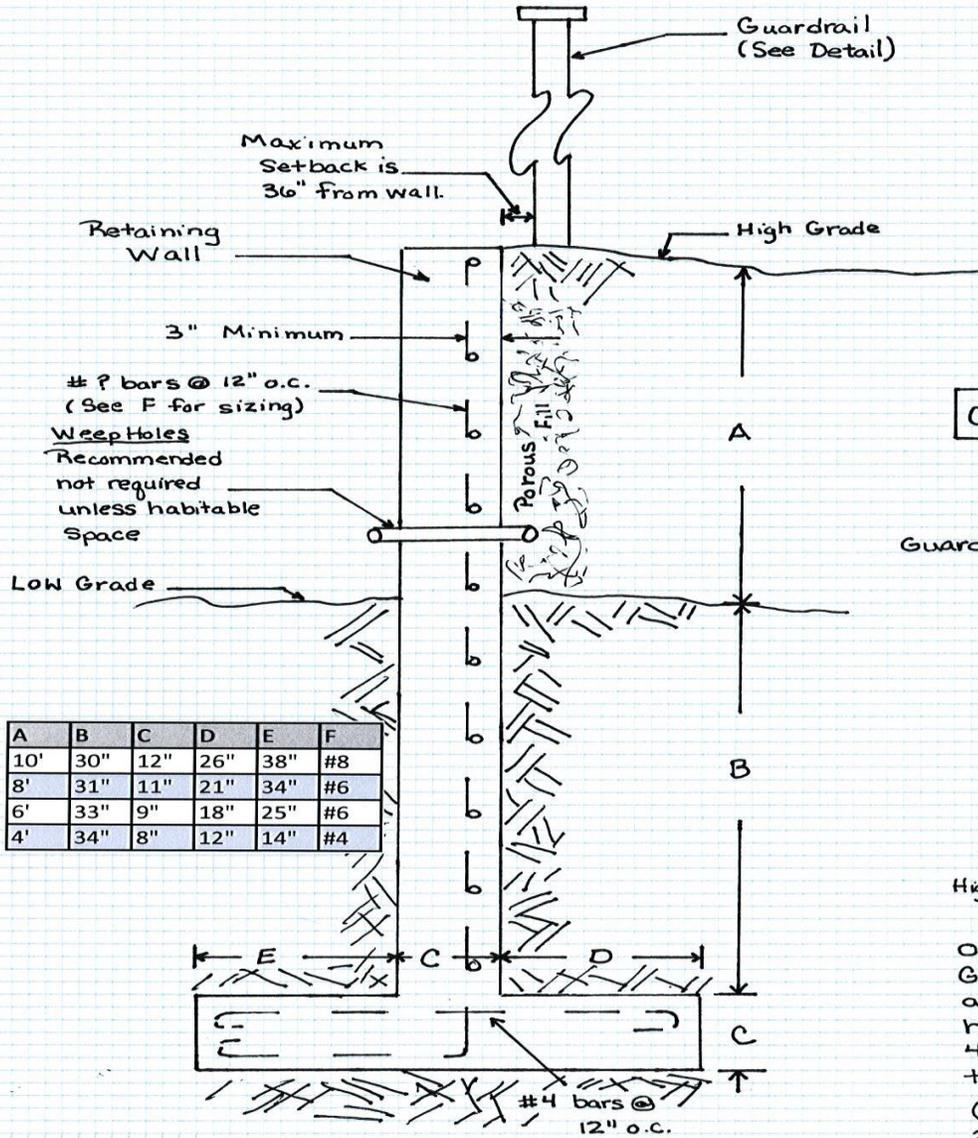
The majority of permit applications are processed with little delay, within 7 – 10 working days. Detailed and complete submittal documents will help expedite the permit process and determine if the project is in compliance with building safety codes, zoning ordinances and other applicable laws.



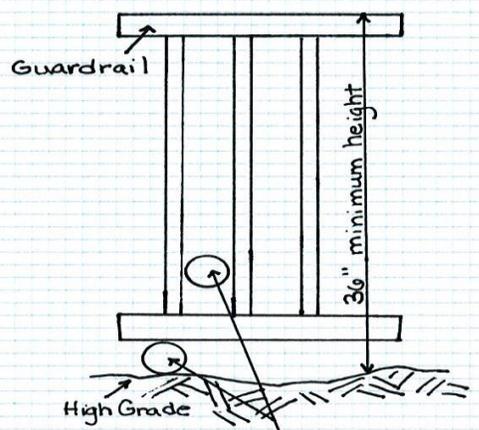
This handout was developed by the Pottawattamie County, Iowa, Building & Safety Division as a basic Plan Submittal under the 2009 IRC to help in questions that may arise in the application process. It is not intended to cover all circumstances or Code related issues as they pertain to individual projects.

Retaining Wall

Reinforced Concrete Wall Cantilever Type



Guardrail Detail



Open Guardrail - High Grade more than 36" above Low Grade shall have members spaced so 4" sphere cannot pass through
Guardrail must withstand 200 lb. load force

A	B	C	D	E	F
10'	30"	12"	26"	38"	#8
8'	31"	11"	21"	34"	#6
6'	33"	9"	18"	25"	#6
4'	34"	8"	12"	14"	#4

2009 International Residential Building Code
Requirements for Guards
Section 312 – Guards

R312.1 WHERE REQUIRED. Guards shall be located along open-sided **walking surfaces**, including stairs, ramps, and landings, that are located more than 30 inches measured vertically to the floor or grade below at any point within 36 inches horizontally to the edge of the open side. Insect screening shall not be considered as a guard.

Walking Surfaces include: grass, stepping stones, sidewalks, pathways, and accessible areas.

Non-walking Surfaces include: landscaped areas of shrubs, plants, and inaccessible areas. These areas must extend 36 inches measured horizontally from the edge of the wall.

INCOMPLETE PLANS WILL NOT BE ACCEPTED

POTTAWATTAMIE COUNTY, IOWA PERMIT APPLICATION RETAINING WALLS

WHEN PERMITS ARE READY		<input type="checkbox"/> Mail them <input type="checkbox"/> Call me <input type="checkbox"/> Call the builder <input type="checkbox"/> Email me <input type="checkbox"/> Email the builder			
PROPERTY OWNER	Name				
	Mailing Address	Street		City, State, Zip	
	Contact Information	Email <input type="checkbox"/>		Home # <input type="checkbox"/>	
	<input checked="" type="checkbox"/> Best Way to Contact			Work # <input type="checkbox"/>	
				Cellular <input type="checkbox"/>	
APPLICANT <small>(if other than property owner)</small>	Name				
	Mailing Address	Street		City, St, Zip	
	Contact Information	Email <input type="checkbox"/>		Home # <input type="checkbox"/>	
	<input checked="" type="checkbox"/> Best Way to Contact			Work # <input type="checkbox"/>	
				Cellular <input type="checkbox"/>	
PROPERTY INFORMATION	Job Site Address	<input type="checkbox"/> Same as above #1 <input type="checkbox"/> To be assigned by Planning Dept.			
	Civil Township				
	Legal Description	<input type="checkbox"/> Per Attachment			
	Parcel Number				
IMPROVEMENTS	Class of Work	<input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> Repair <input type="checkbox"/> Replacement			
	Proposed Construction Description	Example: Construction of a 200' long by 5' tall (footing and wall)			
	Estimated Construction Valuation from Construction Valuation Worksheet				
	Floodplain Development	<input type="checkbox"/> Yes <input type="checkbox"/> No	If YES, subject to provisions of the Floodplain Regulations. See separate Floodplain Development Permit Application.		
BUILDER <small>(if other than property owners)</small>	Name		State Registration#		
	Mailing Address	Street		City, State, Zip	
	Contact Information	Email <input type="checkbox"/>		Work # <input type="checkbox"/>	
	<input checked="" type="checkbox"/> Best Way to Contact			Cellular <input type="checkbox"/>	

ATTACHMENTS

ATTACHED TO THIS APPLICATION IS THE FOLLOWING DOCUMENTATION AND/OR ATTACHMENTS:

- | | Attached | NA |
|--|--------------------------|--------------------------|
| A. Plans, showing elevation of walls & guardrails | <input type="checkbox"/> | <input type="checkbox"/> |
| B. Site Plan/Grading Plan including wall location and adjacent buildings | <input type="checkbox"/> | <input type="checkbox"/> |
| C. Permit Valuation Worksheet | <input type="checkbox"/> | <input type="checkbox"/> |
| D. Filing Fee-Checks are to be made payable to "Pottawattamie County Treasurer". | <input type="checkbox"/> | <input type="checkbox"/> |

Please make be certain that you want to proceed with this project when you submit your application. The fees that you submit are not refundable once the application is submitted.

SIGNATURES

I have indicated all natural and man-made water courses which may have impact on or be impacted by the proposed retaining wall, block wall or fence. I understand and agree that should the County determine that this retaining wall, block wall or fence be detrimental to the safe flow of any water course, this permit will be rendered invalid immediately. I further agree that if I fail to adhere to the above requirements, the retaining wall, block wall or fence may be abated, removed or altered at my expense. I certify that I have read this Application and state that the above information is correct. I agree to comply with the County ordinances and state laws relating to building construction.

Applicant	Signature	Date
	Type or Print Name	

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

DO NOT START CONSTRUCTION UNTIL PERMITS ARE RECEIVED IN THE MAIL AND PLACARDS ARE POSTED. FAILURE TO WAIT FOR PERMITS AND POST PLACARDS WILL CAUSE YOU TO HAVE TO PAY AN INVESTIGATION FEE, WHICH IS DOUBLE THAT OF ANY PERMIT FEES YOU PAY. ADDITIONALLY, FAILURE TO OBTAIN PERMITS PRIOR TO STARTING CONSTRUCTION COULD RESULT IN THE ISSUANCE OF A CITATION OF COUNTY INFRACTION. OUR GOAL IS TO HAVE PERMITS OBTAINED PRIOR TO CONSTRUCTION STARTING. PLEASE HELP US ATTAIN THIS GOAL BY APPLYING FOR AND OBTAINING YOUR PERMITS BEFORE STARTING YOUR CONSTRUCTION.

RETURN COMPLETED FORM TO OBTAIN PERMIT PRIOR TO STARTING CONSTRUCTION:

POTTAWATTAMIE COUNTY * PLANNING AND DEVELOPMENT
223 SOUTH 6TH STREET * COUNCIL BLUFFS, IA 51501-4245

IF YOU HAVE ANY QUESTIONS ON COMPLETING THIS FORM, PLEASE FEEL FREE TO CALL (712) 328-5792. YOU MAY BE DIRECTED TO THE BUILDING DIVISION IF YOU HAVE QUESTIONS RELATIVE TO THE BUILDING CODE RELATED ISSUES.

INSPECTION IS REQUIRED BEFORE COVER-UP AND AT COMPLETION

Inspection Requests: It shall be the duty of the holder of the building permit or their duly authorized agent to notify the Building & Safety Division when work is ready for inspections.

- Inspections must be scheduled and recorded before 4:30 p.m. the business day before the inspection is requested.
- After Hours, Weekend and Holiday Inspections should be scheduled and the appropriate fee must be paid at least two-days before the required inspection date.
- Call (712) 328-5847 for all inspection requests.
 - AM scheduled inspections will be performed from 8:30 a.m. to 12:00 noon.
 - PM scheduled inspections will be performed from 12:00 noon to 4:00 p.m.
- Any special requested inspection time will need to be pre-approved by your scheduled Inspector, the day before.

Contact Information

Building & Safety Division
Office Hours: 8:00 a.m. to 4:30 p.m.
Phone: (712) 328-5847
Fax: (712) 328-4731
Website: www.pottcounty.com

Grading Plans-Regular

- Provide Title Block on each sheet of plans: name, address, phone
 - Construction Plans must be drawn to scale and show contour lines intervals of 5' or less.
 - Provide locations and types and erosion and sedimentation control practices.
 - The plans should indicate the:
 - Square footage or cubic yards of the project
 - Project description, Project timeline, North Arrow, Legend and Scale
- *** See Example

Grading Plans-Engineered

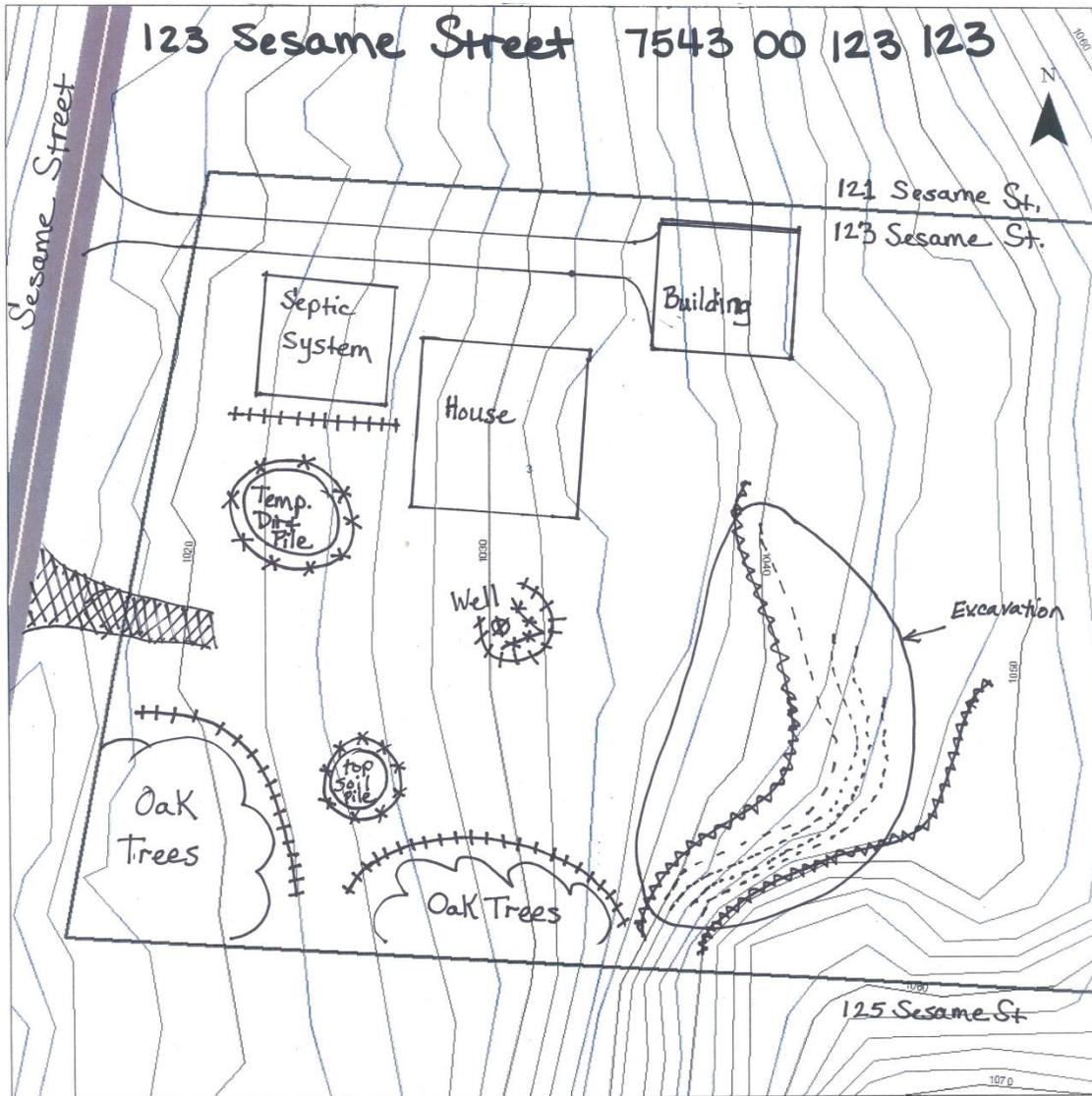
- Plans that are prepared by a civil engineer, a licensed landscape architect, or a licensed professional in erosion and sediment control, must be signed and dated on all sheets.
- Iowa Licensed Contractor/Project Inspector must have their name and phone number on all sheets
- The plans must indicate the:
 - Square footage or cubic yards of the project
 - Project description
 - Proposed project timeline: includes the start of land disturbing activities, when erosion and sedimentation control practices will be installed and maintained, timeline for phases of grading (if used), completion of land disturbing activities, final seeding dates, and project completion date (grass cover established).

Plans and specifications must be of sufficient clarity to indicate the location, nature and extent of the work proposed and show in detail that it will conform to the provisions of the technical codes and all relevant laws, ordinances, rules and regulations. The following information must be incorporated on the plans as outlined below:

- Provide North Arrow, Legend and Scale.
- Provide Parcel Number and/or address of proposed project.
- Show the section of the parcel that includes the land disturbing activities and adjacent property lines.
- Show contour lines at a contour interval of 5' or less for pre- and post-land disturbance activities.
- Show all structures within 50' of land disturbance activities.
- Show location and dimensions of all land disturbing activities; if completed in phases, show a complete plan map and a map for each phase.
- Location and dimensions of all temporary soil or dirt stockpiles.
- Provide locations and types and erosion and sedimentation control practices.
- Show location of protected areas, including wetlands, utilities, and woodland and tree protected measures.
- If available provide or note location of all utilities (water, sewer, septic system, septic corridor, well, well corridor).
- If proposed project is in a flood zone, if possible, provide flood zone boundary lines.

INCOMPLETE PLANS WILL NOT BE ACCEPTED

GRADING PLAN



1 : 200 75 cu yards grading

-  Gravel Entrance
-  Silt Fence
-  Wattle/Filter Sock
-  Safety Fence

Owner: Oscar Grouch (712)123-1230

Contractor/Inspector: Big Bird (402)123-0123

March 31st, prior to grading – install gravel Entrance, silt fence, diversion at well, safety fence at protected areas, wattle above excavated area.

April 1st – excavation starts.
Install silt fence at temporary dirt piles.

April 22nd – excavation complete.
Replace topsoil, seed excavated area, cover with blown straw & crimp in; install lower wattle.

April 29th – temporary dirt pile hauled away & bare soil seeded.

June 9th – expected grass establishment.
*if disturbed areas & temporary dirt piles are not completed and will not have work performed on them for 21 days or more, they will be temporarily seeded.

Minimum Site Plan Size Requirement is 11" x 17"; contour lines must be shown. Larger size drawings may be required in order to adequately show plan detail. This diagram is for illustration purposes only and is not to scale.



Retaining Wall Permit Valuation Worksheet

Valuation of	Per Square Foot Multiplier
Retaining wall (wall is measured from bottom of footing to finished top of wall multiplied by length of wall equals square footage)	\$8.25 per square foot

Wall Description	Square Footage		Per Square Foot Multiplier	Valuation
		X		
		X		
Permit Valuation				

PERMIT FEES			
After calculating the lineal footage with the valuation multiplier above and determining your total permitted valuation. Use the Building Permit Fee Schedule below and determine your Building Permit Fee. This permit fee will be verified during plan review and collected at the time of permit issuance	Permit Fee	Applicant calculation	Staff Calculation
		AMOUNT	AMOUNT
Figuring the Plan Review at 25% of the calculated Building Permit cost. The Plan Review will be a required deposit at the time of your permit application submittal.	Plan Review Fee (Submittal Deposit)		
	TOTAL AMOUNT		

BUILDING PERMIT FEE SCHEDULE * (Title 1.50.105)

TOTAL VALUATION	FEE
\$1 to \$500	\$ 23.50
\$501 to \$2,000	\$ 23.50 for the first \$ 500.00 plus \$ 3.05 for each additional \$ 100.00, or fraction thereof, to and including \$ 2,000.00
\$2,001 to \$25,000	\$ 69.25 for the first \$ 2,000.00 plus \$ 14.00 for each additional \$ 1,000.00, or fraction thereof, to and including \$ 25,000.00
\$25,001 to \$50,000	\$ 391.75 for the first \$ 25,000.00 plus \$ 10.10 for each additional \$ 1,000.00, or fraction thereof, to and including \$ 50,000.00
\$50,001 to \$100,000	\$ 643.75 for the first \$ 50,000.00 plus \$ 7.00 for each additional \$ 1,000.00, or fraction thereof, to and including \$ 100,000.00
\$100,001 to \$500,000	\$ 993.75 for the first \$ 100,000.00 plus \$ 5.60 for each additional \$ 1,000.00, or fraction thereof, to and including \$ 500,000.00
\$500,001 to \$1,000,000	\$ 3,233.75 for the first \$ 500,000.00 plus \$ 4.75 for each additional \$ 1,000.00, or fraction thereof, to and including \$ 1,000,000.00
\$1,000,001 and up	\$ 5,608.75 for the first \$ 1,000,000.00 plus \$ 3.15 for each additional \$ 1,000.00, or fraction thereof

EXAMPLE

Description	Square Footage		Per Square Foot Multiplier	Valuation
5' high x 200' long = 1000 sq ft. wall	1000	X	8.25	8,250
Permit Valuation				8250

Proposed Total Valuation of \$8,250

For the first \$2,001 = \$69.25, plus \$14.00 for each additional \$1,000 or fraction thereof...

(\$8,250 - \$2,001 = \$6,284) $\frac{\$6,284}{1,000} = 6.28 \times \$14.00 = \$87.98 + 69.25 = \157.23 or 157.25 rounded to nearest .25

Building Permit Fee \$ 157.25
 Plan Review Fee \$ 39.50 [25% (\$157.25 x .25)]
Total Permit Fee \$ 196.75