

# FORM #513 INSTRUCTIONS

## POTTAWATTAMIE COUNTY, IOWA APPLICATION GRADING PERMIT INSTRUCTIONS Office of Planning and Development (712) 328-5792

### PERMITS BEING APPLIED FOR

THIS PERMIT APPLICATION PACKET IS FOR A GRADING PERMIT. IF IT IS FOR GRADING ASSOCIATED WITH BUILDING CONSTRUCTION, YOU WILL NEED TO APPLY FOR A BUILDING PERMIT INSTEAD OF A GRADING PERMIT. IF A NEW HOUSE OR BUSINESS BUILDING IS BEING CONSTRUCTED YOU WILL NEED TO APPLY FOR A BUILDING, ZONING, SEPTIC, AND WELL PERMIT ALL AT THE SAME TIME AND YOU SHOULD USE THE "COMBINED APPLICATION FOR BUILDING, SEPTIC AND WELL PERMITS" FORM. YOU WILL NEED TO CONTACT THE COUNTY ENGINEER (712-328-5608) FOR A COUNTY ROAD ENTRANCE PERMIT OR THE IOWA DEPT OF TRANSPORTATION (712-323-6125) FOR A STATE ENTRANCE PERMIT. **The property owner and contractor must sign the "signature page" of this application. Please be sure that you want to proceed with this project when you submit your application. The fees that you submit are not refundable once the application is submitted.**

### GENERAL INFORMATION

#### PROPERTY INFORMATION

**JOB SITE ADDRESS:** Address of the property where the proposed work is going to take place.

**PARCEL NUMBER:** The Parcel Number for your property can be taken off of your tax statement.

**LEGAL DESCRIPTION:** Legal description of the subject property, which can be taken from your tax statement or the deed for the property. Check the box " Per Attached" and include a copy of the deed with the application if the legal description is lengthy.

**PROPERTY OWNER:** Name, current mailing address, current email address and current telephone number (**telephone number where the property owner can be reached between 8:00 A.M. & 4:30 P.M.**) of the owner of the property.

**GRADING CONTRACTOR:** Name, current mailing address, current email address and current telephone number of the contractor, if other than the property owner.

**LICENSED IOWA CONTRACTORS:** Name and Iowa State License # is required for the electrical, plumbing and mechanical contractors. If they are not known at the time of application, as soon as you have selected the respective professional, contact the Building Division with this information (712-328-5847). If you have two different contractors that you are considering, put both names in the blanks provided. If you put a contractor's name on the form and you decide to change after the permit has been issued, contact the Building Division with the modified information.

**ZONING DISTRICT:** This data can be furnished to you by the Planning Dept.

#### FLOODPLAIN DEVELOPMENT:

**IS THE PROPERTY LOCATED IN A DESIGNATED FLOODWAY?** Consult the current FEMA Flood Insurance Rating Maps to obtain this information. This data can be furnished to you by the Planning Dept. If your property is located in a Zone A, the Floodplain or Floodway, you will be required to also obtain a Floodplain Development Permit.

### PROJECT DESCRIPTION

#### TYPE OF GRADING:

**REGULAR GRADING:** Less than 5,000 cubic yards of earth material to be graded.

**ENGINEERED GRADING:** All grading of 5,000 cubic yards or more of earth material. This requires a grading plan prepared by a civil engineer.

**REGULAR GRADING DETERMINED TO REQUIRE ENGINEERED GRADING PERMIT:** Determined by the Building Official.

**PROPOSED USE OF PROPERTY AFTER GRADING COMPLETED:** Check the appropriate box and describe in the space provided.

#### DEPTH OF:

**FILL IN FEET:** Average depth of fill for land disturbing activity.

**EXCAVATION IN FEET:** Average depth of excavation for land disturbing activity.

**OFF-SITE LOCATION FOR FILL TO BE BROUGHT IN:** The location where the fill is coming from.

**LOCATION OF SITE EXCAVATION REMOVED WILL BE TAKEN TO:** The location excavated material will be taken to. If it will be used onsite, state that information.

**TOTAL ACRES OF THE SITE:** Acres of the property.

**ACRES TO BE DISTURBED:** Acres of land disturbing activity. Disturbing more than one acre will require you to obtain an IDNR NPDES Permit. A Stormwater Pollution Prevention Plan (SWPPP) is also required if:

One acre or more of land disturbing activity on 0-14% slope.

5,000 square foot or more of land disturbing activity on 14% - 30% slope.

1,000 square foot or more of land disturbing activity on 30% - 75% slope.

**HAUL ROUTE:** Route for fill to be brought in or excavation to be removed to.

### ESTIMATED QUANTITIES

Find the volume of the land disturbing activity by calculating Length x Width x Depth. Cubic yards = cubic feet divided by 27.

**EXCAVATION & FILL ALL RELOCATED ON-SITE:** The total amount of excavation and fill calculated as cubic yards.

**FILL BROUGHT IN FROM OFF-SITE:** The total amount of fill brought in from off-site calculated as cubic yards.

**EXCAVATION REMOVED FROM ON-SITE:** The total amount of excavation removed from the site calculated as cubic yards.

## GRADING PLAN ATTACHMENTS

- A. Two (2) sets of plans and specifications to scale with contour lines:
- B. Site Plan: See Example. You will need to draw, on a separate sheet of paper, a site plan, to scale on 11" x 17" paper with contour lines. The example in this packet shows the type of information that needs to be included on the map. See PLAN SUBMITTAL REQUIREMENT form, on page 3 of this packet, for more details and page 4 for an example.
- C. Plan Submittal Check List: Complete the attached plan submittal check list and make sure that the information requested is shown in your site plan, unless not applicable.
- D. IDNR, NPDES Permit: Disturbing 1 acre or more will require you to obtain a NPDES General Permit No. 2. Contact the Iowa DNR at 515-725-8417 or 515-725-8415. <http://www.iowadnr.gov/Environmental-Protection/Water-Quality/NPDES-Storm-Water/Online-Storm-Water-Application>
- E. Stormwater Pollution Prevention Plan: Stormwater Pollution Prevention Plan (SWPPP) is required on:
  - One acre or more of land disturbing activity on 0-14% slope.
  - 5,000 square foot or more of land disturbing activity on 14% - 30% slope.
  - 1,000 square foot or more of land disturbing activity on 30% - 75% slope.See the PLAN SUBMITTAL REQUIREMENT form.
- F. Soils Report: The soils report shall include data regarding the nature, distribution and strength of existing soils, conclusions and recommendations for grading procedures and design criteria for corrective measures, including buttress fills, if needed.
- G. Geology Report: The geology report shall include an adequate description of the geology of the site and conclusions and recommendations regarding the effect of geologic conditions on the proposed development, if needed.
- H. Certificate of Insurance
- I. Filing Fees: Checks are made payable to the County Treasurer. Estimated fees will be collected at the time of application per the Valuation Calculation Form. Additional fees may need to be paid after the Plans have been reviewed by the Chief Building Official. Those fees must be paid before your permits will be release to you. **Please make be certain that you want to proceed with this project when you submit your application. The fees that you submit are not refundable once the application is submitted.**

## SIGNATURE PAGE

**CONTRACTOR'S CERTIFICATION OF SITE EVALUATION:** YOUR CONTRACTOR MUST SIGN THIS SECTION. Each major contractor is required to conduct a site evaluation of this property prior to the applications being submitted. Those contractors must sign and acknowledge that they have viewed the site and agree with the proposed grading plan. If in the grading of the site, contractors are changed, you will need to notify this Office and that contractor will need to likewise acknowledge that they agree with the proposed grading plan. Any and all changes to the grading plan after permits are issued shall be given in writing to this Office. In conducting a site evaluation for a grading permit, *consideration shall be given to, but not limited to, the impact of the following: topography; location of property lines; location of easements; buried utilities; existing septic systems; existing and abandoned water wells.*

**APPLICANT CERTIFICATION:** Property owner must sign and date the application.

### WHAT DO I NEED TO DO TO MAKE SURE MY APPLICATIONS ARE PROCESSED AS QUICKLY AS POSSIBLE?

There are several factors that can substantially delay the issuance of permits. Items that cause delays are: incomplete applications, the property not being transferred into the person(s) name listed as property owner on the application, no scaled drawing or inaccurate drawings, unlicensed contractors, incorrect filing fees, changing contractors after the applications are filed, changing the site plan after the applications are filed and/or not having all required signatures on the applications included. Please carefully review all of the required submittals and it will help us to expedite processing your application.

### WHEN CAN I EXPECT TO RECEIVE MY PERMIT?

Once the application has been *properly* filed with the Office of Planning and Development, 223 South 6th Street, Council Bluffs, Iowa, it will be reviewed by the Planning Director and the Chief Building Official. If everything is found to be in order and to comply with regulations of the appropriate ordinances, a site evaluation will be done by the appropriate County Inspector and a permit will be issued within approximately ten (10) working days.

## INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED

### **DO NOT START CONSTRUCTION UNTIL PERMITS ARE RECEIVED IN THE MAIL AND PLACARDS ARE POSTED.**

*FAILURE TO WAIT FOR PERMITS AND POST PLACARDS WILL CAUSE YOU TO HAVE TO PAY AN INVESTIGATION FEE, WHICH IS DOUBLE THAT OF ANY PERMIT FEES YOU PAY. ADDITIONALLY, FAILURE TO OBTAIN PERMITS PRIOR TO STARTING CONSTRUCTION COULD RESULT IN THE ISSUANCE OF A CITATION OF COUNTY INFRACTION. OUR GOAL IS TO HAVE PERMITS OBTAINED PRIOR TO CONSTRUCTION STARTING. PLEASE HELP US ATTAIN THIS GOAL BY APPLYING FOR AND OBTAINING YOUR PERMITS BEFORE STARTING CONSTRUCTION.*

NOTE: *The data contained in this document is for reference purposes only. For the specific regulations, you should refer to the Pottawattamie County, Iowa, Code. Data contained in this document is subject to change without further notice to recipients of this document.*

## **PLAN SUBMITTAL CHECKLIST REQUIREMENTS FOR GRADING**

- Submit two (2) complete sets of plans, along with a Plan Review Fee.
- Minimum paper size for all plan sets is to be on 11"X 17"; plans must include contour lines.
- Construction Plans must be drawn to scale and show contour lines.
- Attach detailed plans of all erosion and sedimentation control devices and surface and subsurface drainage devices.

### **Grading Plans-Regular**

- Provide Title Block on each sheet of plans: name, address, phone
  - Construction Plans must be drawn to scale and show contour lines intervals of 5' or less.
    - Provide locations and types and erosion and sedimentation control practices.
  - The plans should indicate the:
    - Square footage or cubic yards of the project
    - Project description, Project timeline, North Arrow, Legend and Scale
- \*\*\* See Example

### **Grading Plans-Engineered**

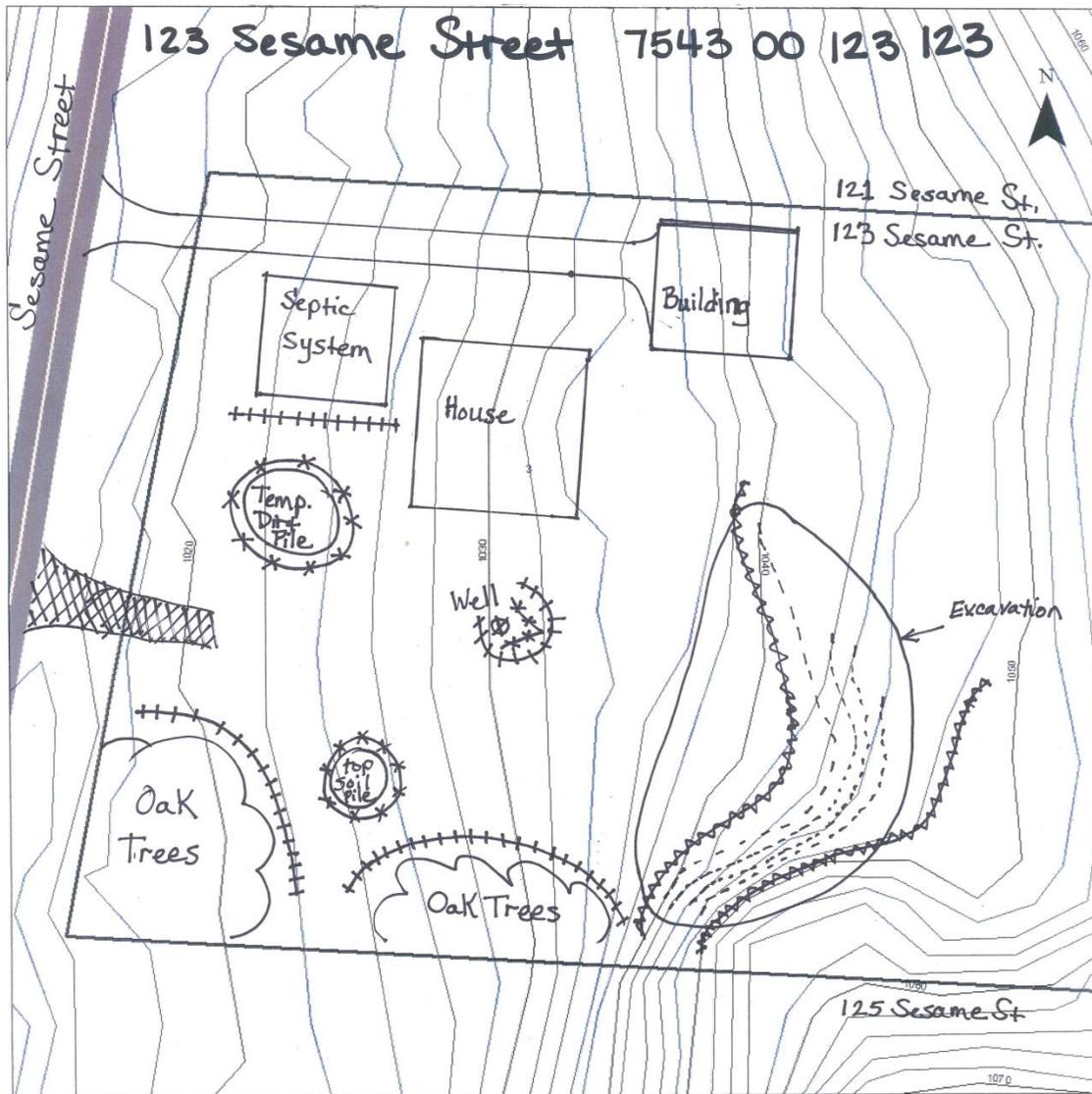
- Plans that are prepared by a civil engineer, a licensed landscape architect, or a licensed professional in erosion and sediment control, must be signed and dated on all sheets.
- Iowa Licensed Contractor/Project Inspector must have their name and phone number on all sheets
- The plans must indicate the:
  - Square footage or cubic yards of the project
  - Project description
  - Proposed project timeline: includes the start of land disturbing activities, when erosion and sedimentation control practices will be installed and maintained, timeline for phases of grading (if used), completion of land disturbing activities, final seeding dates, and project completion date (grass cover established).

**Plans and specifications must be of sufficient clarity to indicate the location, nature and extent of the work proposed and show in detail that it will conform to the provisions of the technical codes and all relevant laws, ordinances, rules and regulations. The following information must be incorporated on the plans as outlined below:**

- Provide North Arrow, Legend and Scale.
- Provide Parcel Number and/or address of proposed project.
- Show the section of the parcel that includes the land disturbing activities and adjacent property lines.
- Show contour lines at a contour interval of 5' or less for pre- and post-land disturbance activities.
- Show all structures within 50' of land disturbance activities.
- Show location and dimensions of all land disturbing activities; if completed in phases, show a complete plan map and a map for each phase.
- Location and dimensions of all temporary soil or dirt stockpiles.
- Provide locations and types and erosion and sedimentation control practices.
- Show location of protected areas, including wetlands, utilities, and woodland and tree protected measures.
- If available provide or note location of all utilities (water, sewer, septic system, septic corridor, well, well corridor).
- If proposed project is in a flood zone, if possible, provide flood zone boundary lines.

**INCOMPLETE PLANS WILL NOT BE ACCEPTED**

# GRADING PLAN



1 : 200      75 cu yards grading

-  Gravel Entrance
-  Silt Fence
-  Wattle/Filter Sock
-  Safety Fence

Owner: Oscar Grouch (712)123-1230

Contractor/Inspector: Big Bird (402)123-0123

March 31<sup>st</sup>, prior to grading – install gravel Entrance, silt fence, diversion at well, safety fence at protected areas, wattle above excavated area.

April 1<sup>st</sup> – excavation starts.  
Install silt fence at temporary dirt piles.

April 22<sup>nd</sup> – excavation complete.  
Replace topsoil, seed excavated area, cover with blown straw & crimp in; install lower wattle.

April 29<sup>th</sup> – temporary dirt pile hauled away & bare soil seeded.

June 9<sup>th</sup> – expected grass establishment.  
\*if disturbed areas & temporary dirt piles are not completed and will not have work performed on them for 21 days or more, they will be temporarily seeded.

Minimum Site Plan Size Requirement is 11" x 17"; contour lines must be shown. Larger size drawings may be required in order to adequately show plan detail. This diagram is for illustration purposes only and is not to scale.